



1 Perspective View from North (Harvey Ave Elevation)



2 Perspective View from North-East (Harvey Ave Elevation)

ARCHITECTURAL DRAWING LIST - DA	
Sheet Number	Sheet Name
A00.01	Cover Page
A01.01	Site Location Plan
A01.02	Site Analysis Plan
A01.03	Streetscape Analysis
A01.04	Proposed Built Form & Mass Diagrams
A01.05	Proposed Cross Ventilation & Development Analysis
A01.06	Demolition Plan
A02.01	Proposed Site & Roof Plan
A03.01	Basement Level 2 Plan
A03.02	Basement Level 1 Plan
A03.03	Ground Level Plan
A03.04	Level 1 Plan
A03.05	Level 2 Plan
A03.06	Level 3 Plan
A03.07	Level 4 Plan
A03.08	Level 5 Plan
A03.09	Roof Level Communal Open Space Plan
A04.01	North, East Elevations
A04.02	South, West Elevations
A05.01	Sections AA
A05.02	Section BB
A05.03	Driveway Section Detail
A05.04	Wall Facade Details
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A06.01	18m Height Analysis Diagram
A07.01	Shadow Diagrams - Winter JUNE 21
A07.02	Sun View Solar Study - Winter JUNE 21 (Proposed)
A07.03	Sun View Solar Study - Southern Adjoining Properties
A08.01	Adaptable Unit Layout Plan
A09.01	FSR Area Diagrams
A09.02	Landscape, Deep Soil & C.O.S Area Diagrams
A10.01	Exterior Finishes

DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

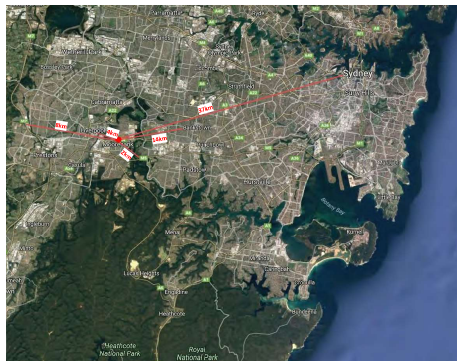
No.	Description	Date	Cover Page			
			Date	Job No.	Sheet No.	
A	DRAFT - For Consultant Coordination	2018,05,08	08,05,2018	1801	A00.01	
B	DRAFT - Consultant Coordination	2018,06,06				
C	Development Application	2018,07,25				
			Scale at: A1	Stage	DA	Issue, C
			Jim Shi			
			23-29 Harvey Ave, MOOREBANK			
			A, 184 Riverside Road, Chipping Norton NSW 2170 P, 02 9755 1318 F, 02 9755 1010 E, edmin@pagano.com.au named architect A/Arch. Pagano 574 Subshore Pagano 7003			

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BROADER SYDNEY



THE SITE IS LOCATED

- 37 km South-west of the Sydney Central Business District
- 1 km South-east of the Liverpool City
- 24km South-west of the Bankstown City
- 20m to M5 motorway
- 80m to M7 motorway

SITE LOCATION PLAN MOOREBANK - SITE SUMMARY



THE SITE IS SITUATED BETWEEN THE PRIMARY LINKS OF STOCKTON AVE, NUWARRA ROAD AND NEWBRIDGE ROAD. LOCATED WITHIN WALKING DISTANCE NORTH-EAST OF MOOREBANK SHOPPING CENTRE AND NUWARRA PUBLIC SCHOOL

SITE SUMMARY

LOCATION:	23-29 Harvey Avenue, Moorebank
SITE AREA:	2745.2 m ²
FRONTAGE:	74 m
EXISTING BUILDING:	4 x RESIDENTIAL DWELLINGS
ZONING:	B4 - High Density Residential
MAX. HEIGHT:	18 m (LIVERPOOL LOCAL ENVIRONMENTAL PLAN 2008)
PERMISSIBLE FSR:	1.2 : 1 = 3204.24 m ²
ADDITIONAL FSR (SOEP SOH) 2009:	0.5 : 1 = 1372.6 m ²
TOTAL OFA @ 1.7 : 2 FSR:	= 4586.84 m ²



SITE LOCATION PLAN



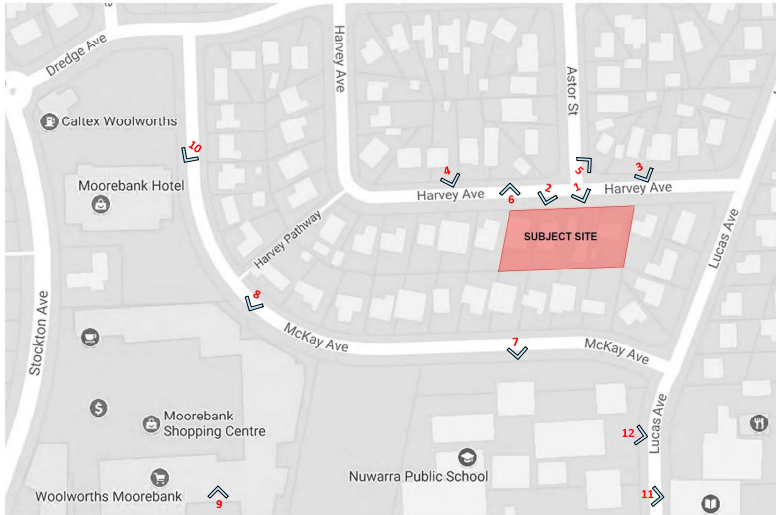
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	Description	Date	Date	Job No.	Sheet No.
A	DRAFT - Consultant Coordination	2018,06,19	08,05,2018	1801	A01.01
B	Development Application	2018,07,25	As Indicated	DA	B
			Site Location Plan	Stage	Issue
			Jim Shi	DA	B
			23-29 Harvey Ave, MOOREBANK		
			A, 1/64 Riverside Road, Chipping Norton NSW 2170 P, 02 9755 1318 F, 02 9755 1010 E, edmin@pagano.com.au named architect Pagano, Pagano & P Subsidiary Pagano 7000		

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KEY PLAN FOR PHOTO LOCATION



1, EXISTING STREET VIEW - No. 27 & 29 HARVEY AVE.



2, EXISTING STREET VIEW - No. 23 & 25 HARVEY AVE.



3, ADJOINING SITE - No. 31 HARVEY AVE. & 61 LUCAS AVE.



4, ADJOINING SITE - No. 19 & 21 HARVEY AVE.



5, OPPOSITE SITE - No. 8 ASTOR STREET



6, OPPOSITE SITE - No. 16 HARVEY AVE.



7, NUWARRA PUBLIC SCHOOL



8, MOOREBANK SHOPPING CENTRE ON MCKAY AVE



9, MOOREBANK SHOPPING CENTRE ON MADDOCKS AVE.



10, MOOREBANK HOTEL



11, MOOREBANK LIBRARY




12, No. 101 NUWARRA ROAD

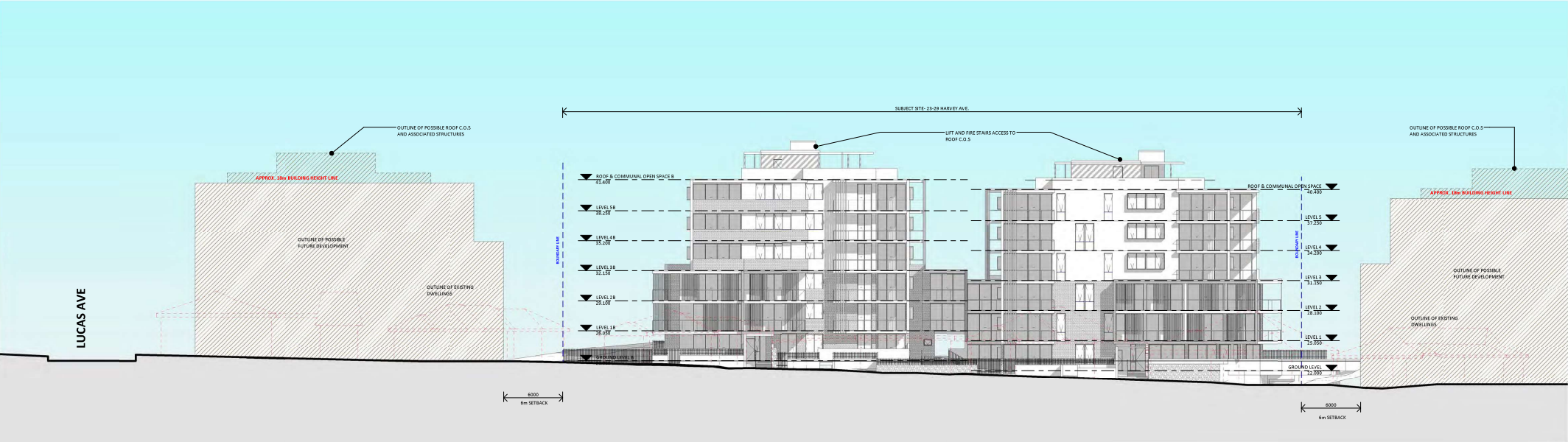


SITE ANALYSIS PLAN APPROX. 1:500

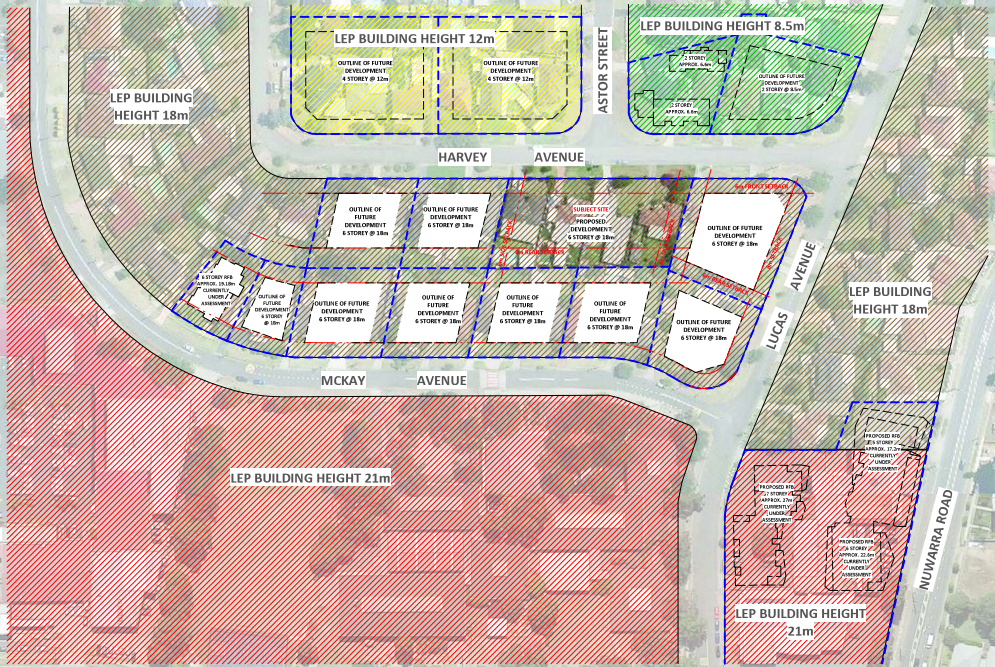


DEVELOPMENT APPLICATION
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No.	Description	Date	Site Analysis Plan			
			Date	Job No.	Sheet No.	
A	DRAFT - Consultant Coordination	2018,06,19	08,05,2018	1801	A01.02	
B	Development Application	2018,07,25	As Indicated	Stage	Author	Issue, B
			Jim Shi			
			23-29 Harvey Ave, MOOREBANK			
			<div>Notes: This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.</div> <div>©Pagano Architects ©TTA Studio Architects</div>			
			<div>Date: 08,05,2018 Job No.: 1801 Sheet No.: A01.02 Scale as Indicated Stage Author Issue, B</div> <div>A, 184 Riverside Road, Chipping Norton NSW 2170 P, 02 9755 1318 F, 02 9755 1010 E, edmin@pagano.com.au named and sealed Architect Pagano 574 Signature Pagano 7003</div> <div>pagano architects</div>			



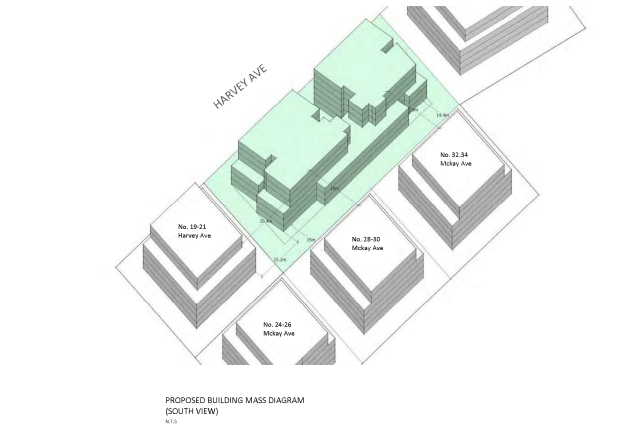
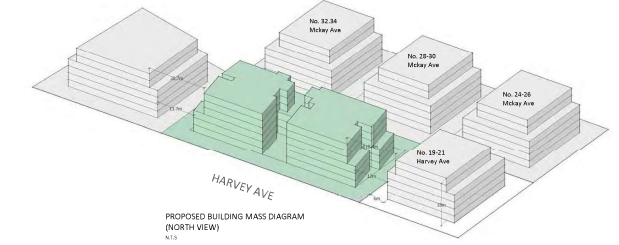
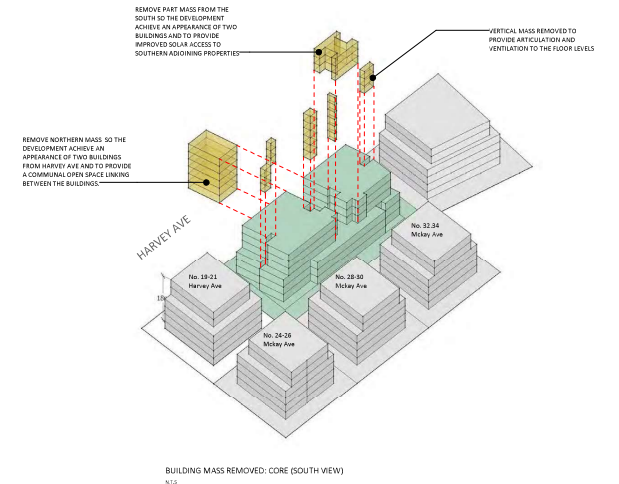
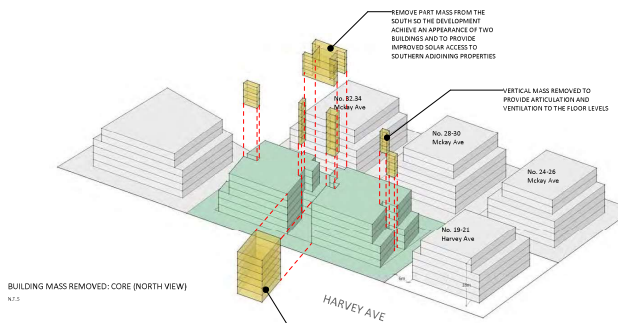
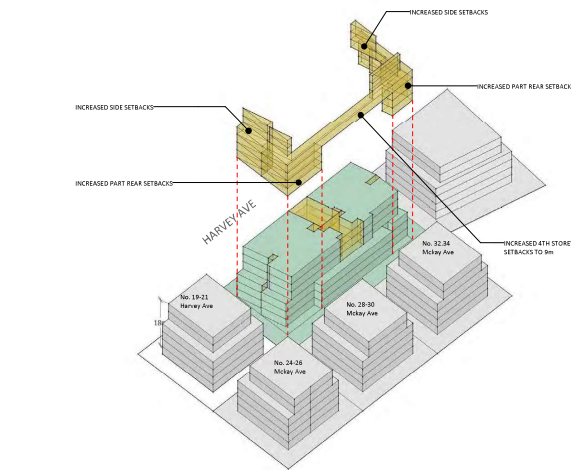
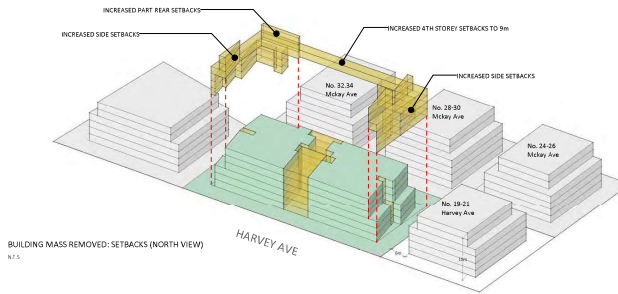
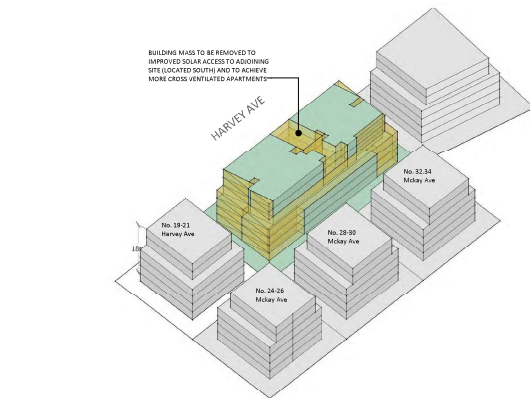
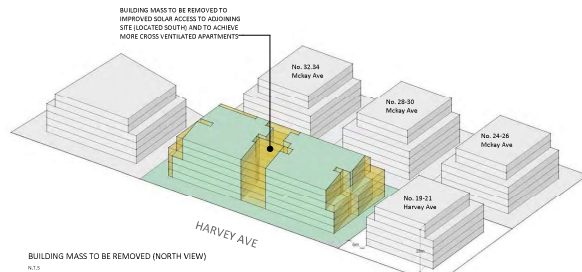
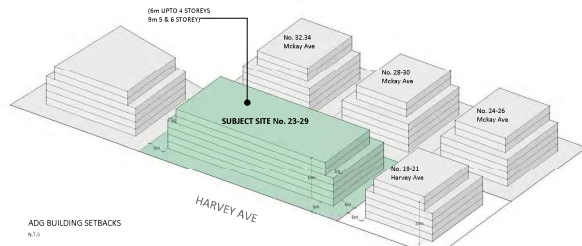
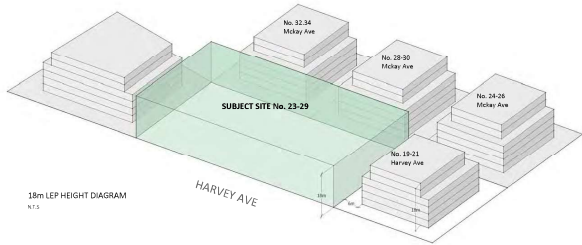
1 Streetscape Elevation (Harvey Ave)
1:100



Planning Control Diagrams

No.	Description	Date	NOTES: This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use 1:100 dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.			
A	DRAFT - Consultant Coordination	2018,06,19	Streetscape Analysis			
B	Development Application	2018,07,25				
			NOT FOR CONSTRUCTION			
			Date	08,05,2018	Job No.	1801
			Scale at A1	As indicated	Stage	DA
			Author	Jim Shi	Issue	B
			23-29 Harvey Ave, MOOREBANK	A, 184 Riverside Road, Chipping Norton NSW 2170 P, 02 9755 1318 F, 02 9755 1010 E, edmin@pagano.com.au named architect Pagano, Pagano & P Sydney Pagano 7000		






NOTES
SURROUNDING SITES ILLUSTRATE
FUTURE DESIRED MASS FROM
COUNCIL PLANNING CONTROLS

No.	Description	Date
A	DRAFT - Consultant Coordination	2018,06,19
B	Development Application	2018,07,25

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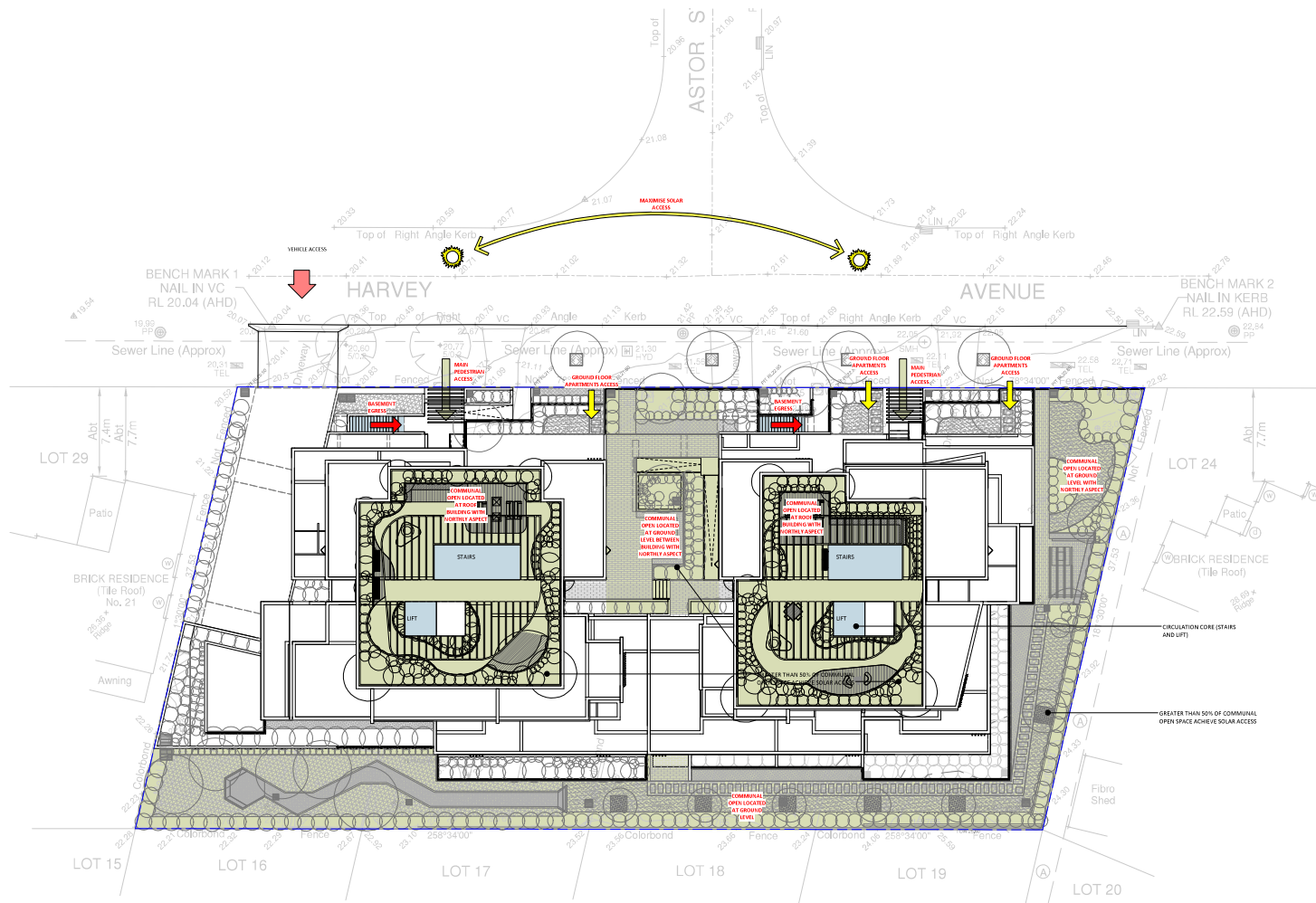
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Proposed Built Form & Mass Diagrams	Date	08,05,2018	Job No.	1801	Sheet No.	A01.04
	Scale at A1	1 : 250	Stage	DA	Issue,	B
Jim Shi	<div><div><div>A. 1654 Riverside Road, Chipping Norton NSW 2170 P 02 9765 1318 F 02 9765 1316 E edmund.pagano@comau www.comau.com.au Edmund Pagano A/Design Partner #774 Collaborative Practice 2003</div><div> pagano architects</div></div></div>					
23-29 Harvey Ave, MOOREBANK						

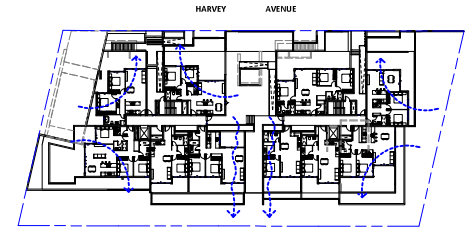
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

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unreleased architect
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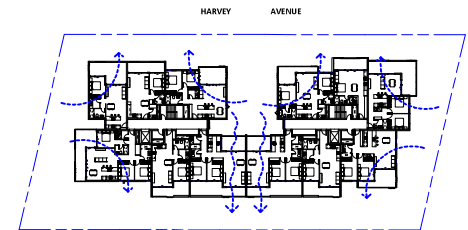
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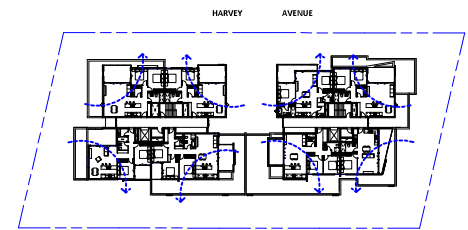
① Proposed Building Access, COS & Core
1: 500



② Cross Ventilation Diagram - Ground Level
1: 500



③ Cross Ventilation Diagram - L1+2
1: 500



④ Cross Ventilation Diagram - L3+4+5
1: 500

CROSS VENTILATION SUMMARY	
LEVEL	No. of Units
GROUND LEVEL	7
LEVEL 1	8
LEVEL 2	8
LEVEL 3	8
LEVEL 4	8
LEVEL 5	8
TOTAL	47 UNITS (RELU)

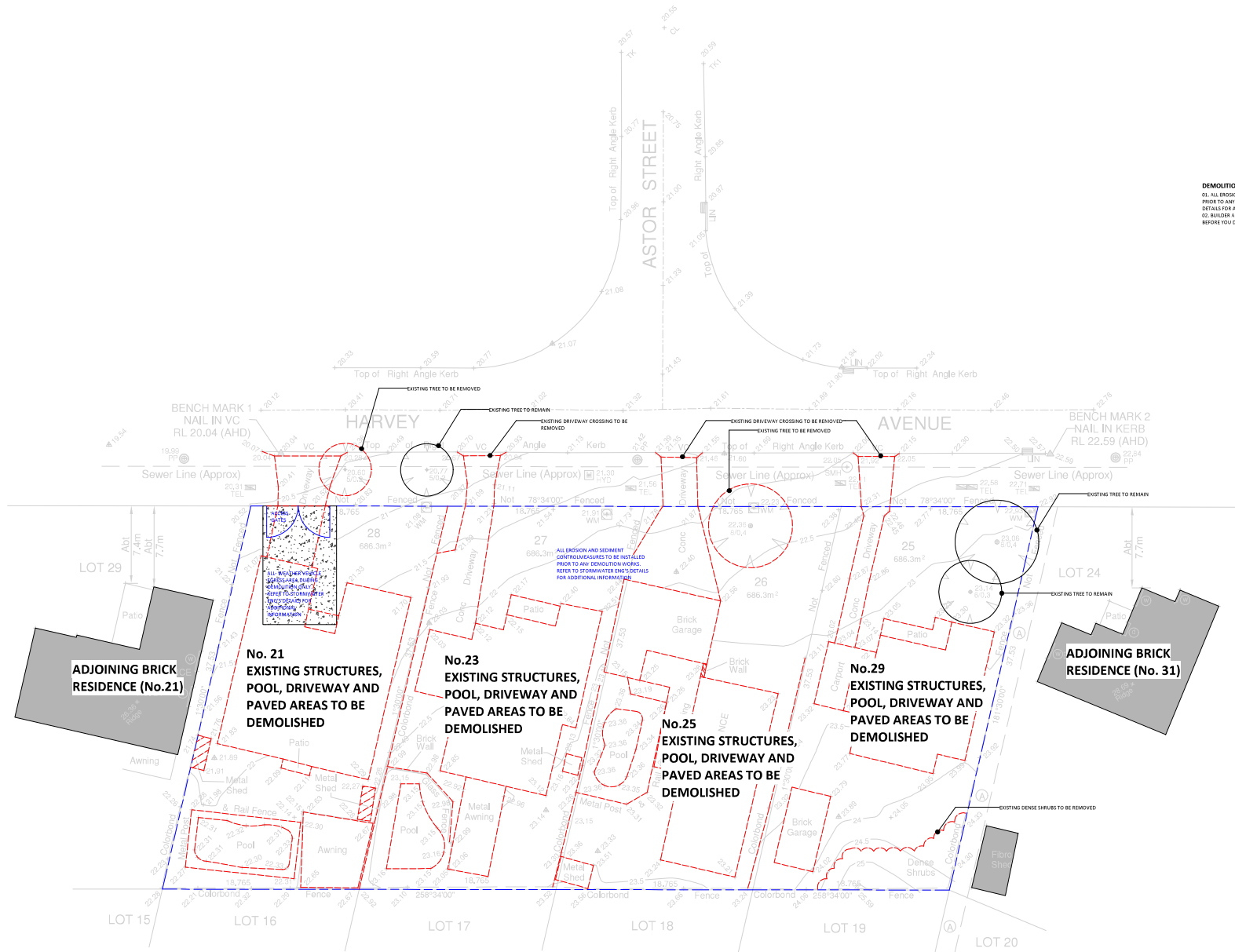


DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

No.	Description	Date	Notes	Proposed Cross Ventilation & Development Analysis	Date	Job No.	Sheet No.
A	DRAFT - Consultant Coordination	2018,06,19	This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.	Jim Shi	08,05,2018	1801	A01.05
B	Development Application	2018,07,25		23-29 Harvey Ave, MOOREBANK	As Indicated	Stage DA	Issue B

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DEMOLITION NOTES
01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO ANY DEMOLITION WORKS. REFER TO STORMWATER ENG'S DETAILS FOR ADDITIONAL INFORMATION.
02. BUILDER AND CONTRACTORS MUST CARRY OUT THEIR OWN DIAL BEFORE YOU DIS INVESTIGATING PRIOR TO ANY WORKS ON SITE.

1 DEMOLITION PLAN
1:300



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	Description	Date	Demolition Plan			
			Date	Job No.	Sheet No.	
A	DRAFT - Consultant Coordination	2018,06,06	08,05,2018	1801	A01.06	
B	DRAFT - Consultant Coordination	2018,06,19	As Indicated	Stage	DA	Issue, C
C	Development Application	2018,07,25				
			Jim Shi			
			23-29 Harvey Ave, MOOREBANK			

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1 SECTION AA
1:100

No.	Description	Date
A	DRAFT - For Consultant Coordination	2018,05,08
B	DRAFT - Consultant Coordination	2018,06,06
C	Development Application	2018,07,25

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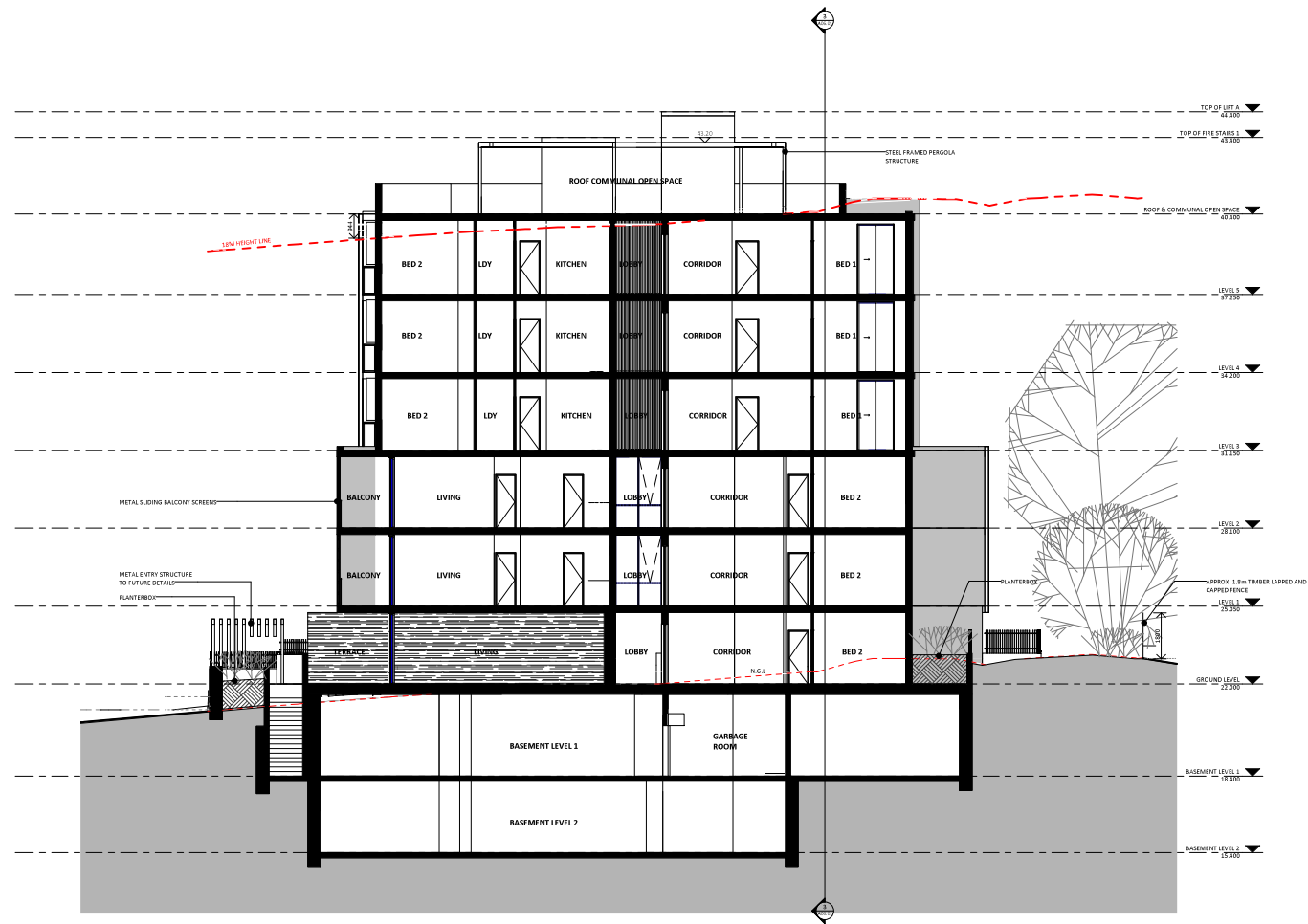
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Sections AA		Date	Job No.	Sheet No.
		08,05,2018	1801	A05.01
Scale at A1		Stage	DA	Issue
1 : 100				C
Jim Shi				
23-29 Harvey Ave, MOOREBANK				

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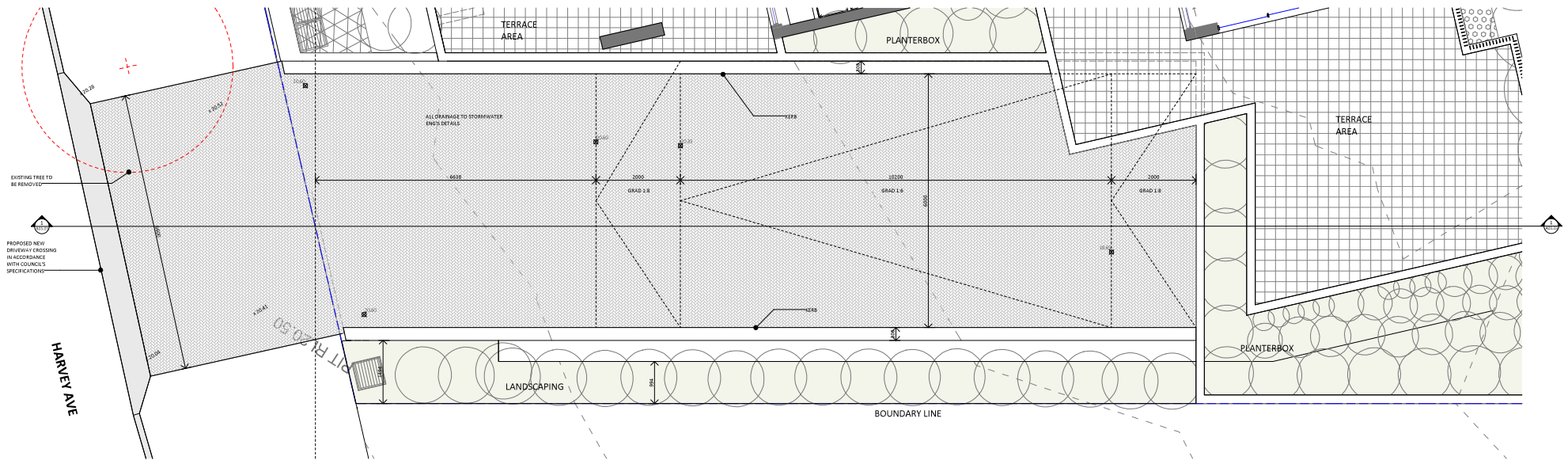
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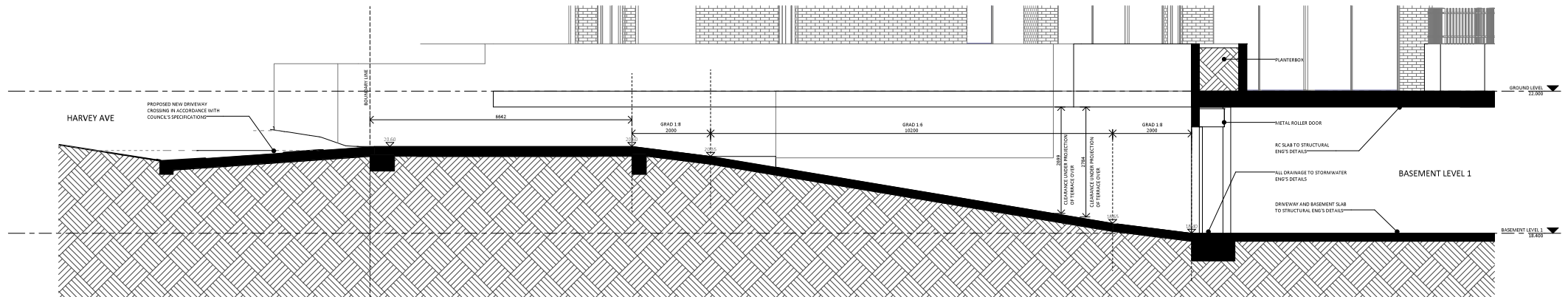
1 SECTION BB
1:100

DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

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A	DRAFT - For Consultant Coordination	2018,05,08		Jim Shi	Scale at A1 : 100	Stage DA	Issue, C
B	DRAFT - Consultant Coordination	2018,06,06		23-29 Harvey Ave, MOOREBANK	<div>A, 104 Riverside Road, Chipping Norton NSW 2170 P, 02 9755 1318 F, 02 9755 1010 E, admin@pagano.com.au namesake architect Alfred Pagano 574 Saskia Pagano 7003</div> <div>pagano architects</div>		
C	Development Application	2018,07,25					
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2 DRIVEWAY PLAN
1:30



1 SECTION AT DRIVEWAY
1:30

DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

No.	Description	Date	Date	Job No.	Sheet No.
A	DRAFT - Consultant Coordination	2018,06,06	08,05,2018	1801	A05.03
B	DRAFT - Traffic Comments added	2018,07,09		Stage	Issue
C	Development Application	2018,07,25		DA	C
			Scale at A1	1:50	
			Jim Shi		
			23-29 Harvey Ave, MOOREBANK		

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Driveway Section Detail

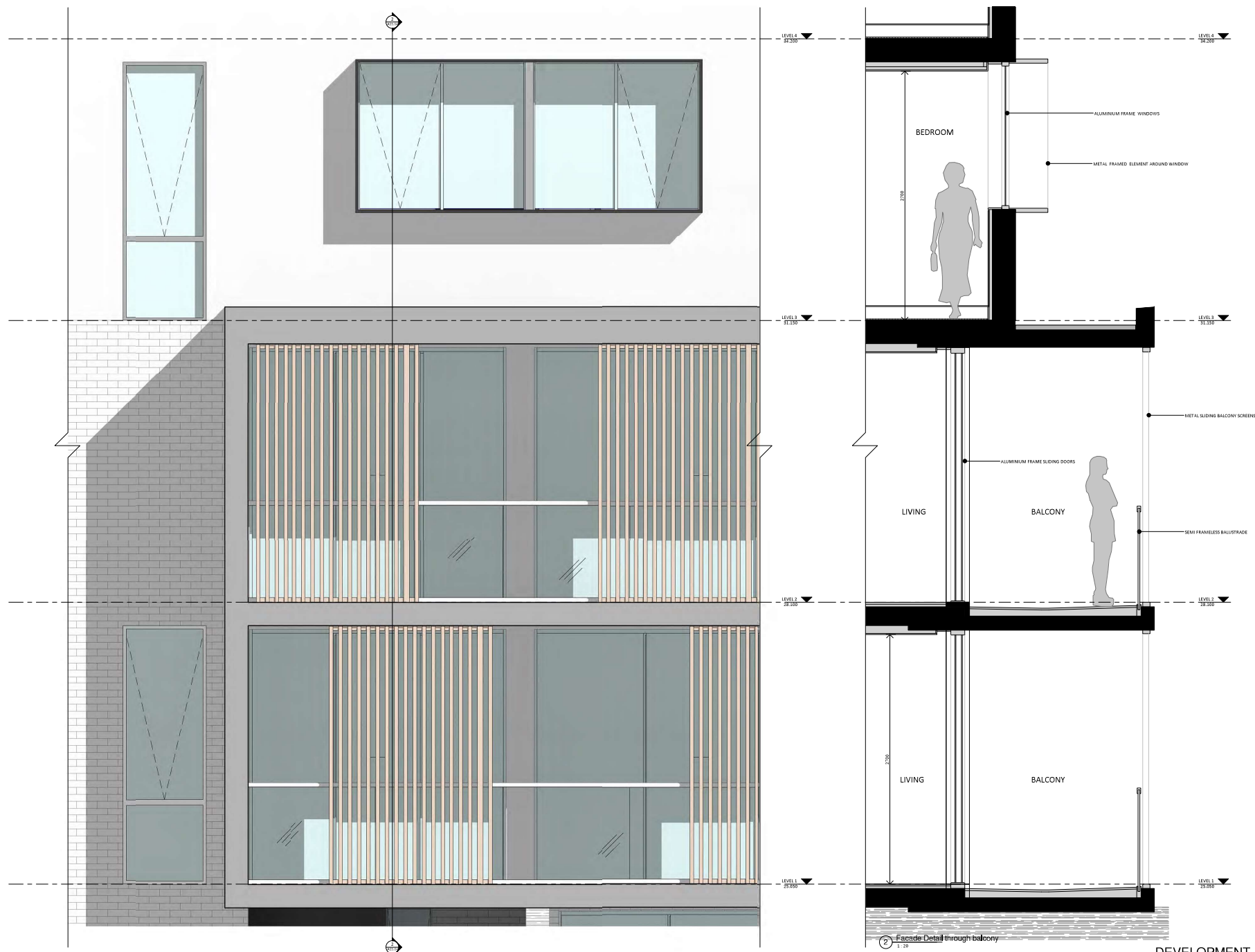
Date: 08,05,2018
Job No.: 1801
Sheet No.: A05.03
Scale at A1: 1:50
Stage: DA
Issue: C

Jim Shi

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Sakshini Pagano 7003

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1 Facade Elevation Detail
1:20

2 Facade Detail through balcony
1:20

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No.	Description	Date
A	Development Application	2018.07.25

Wall Facade Details			
Date	08.05.2018	Job No.	1801
Scale at A1	1 : 20	Stage	Author
Jim Shi		Issue, A	
23-29 Harvey Ave, MOOREBANK		 pagano architects	

DEVELOPMENT APPLICATION
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PHOTOMONTAGE - VIEW FROM HARVEY AVE



PHOTOMONTAGE - VIEW FROM HARVEY AVE



PERSPECTIVE - VIEW FROM HARVEY AVE C.O.S BETWEEN DEVELOPMENT



PERSPECTIVE - VIEW FROM HARVEY AVE (NORTH -WEST ELEVATION)



PERSPECTIVE - VIEW OF SOUTHERN ELEVATION

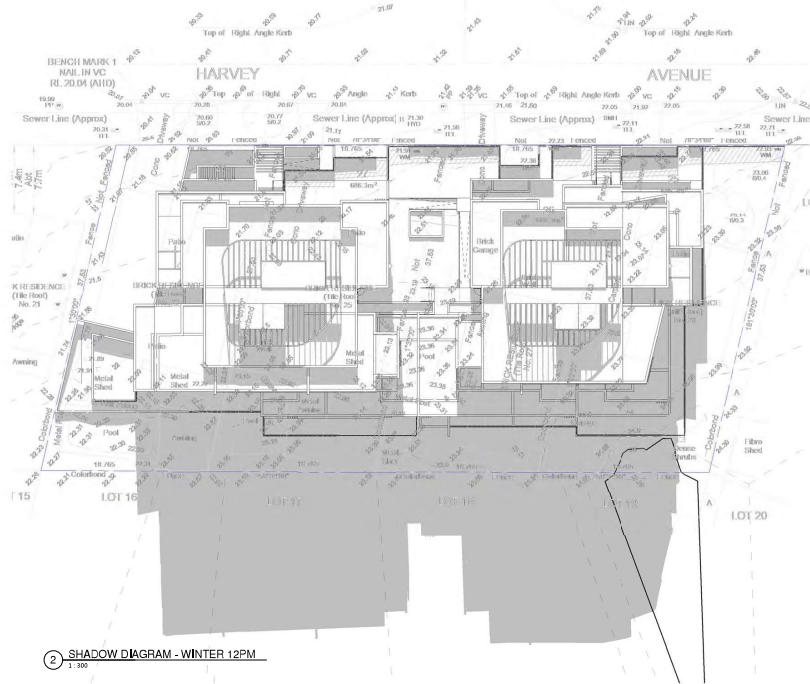
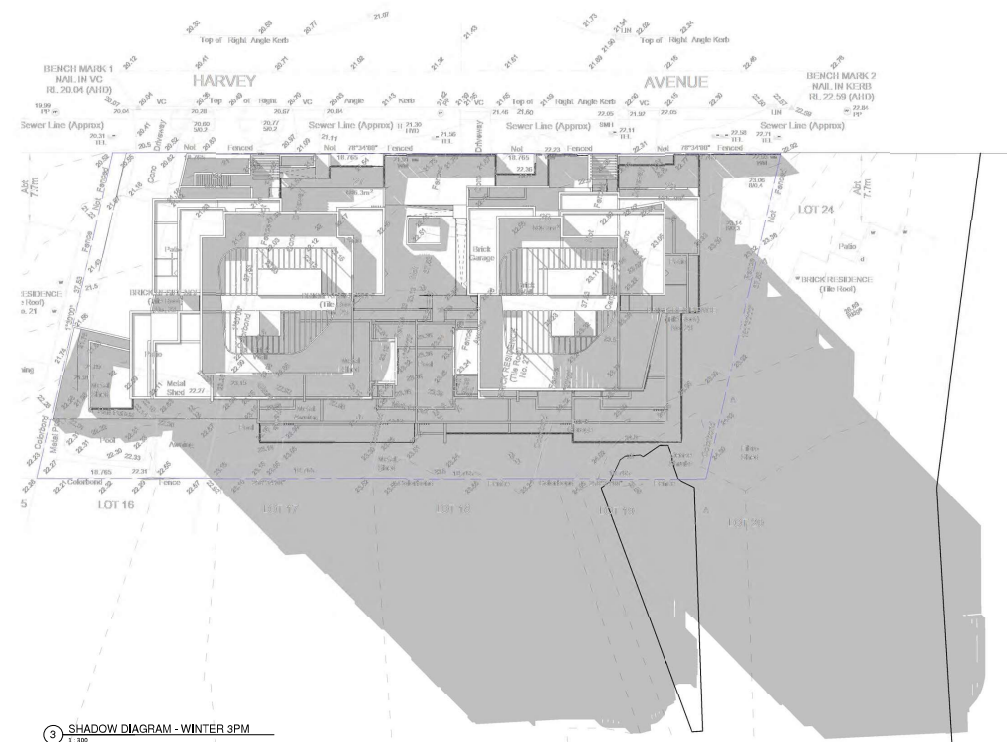
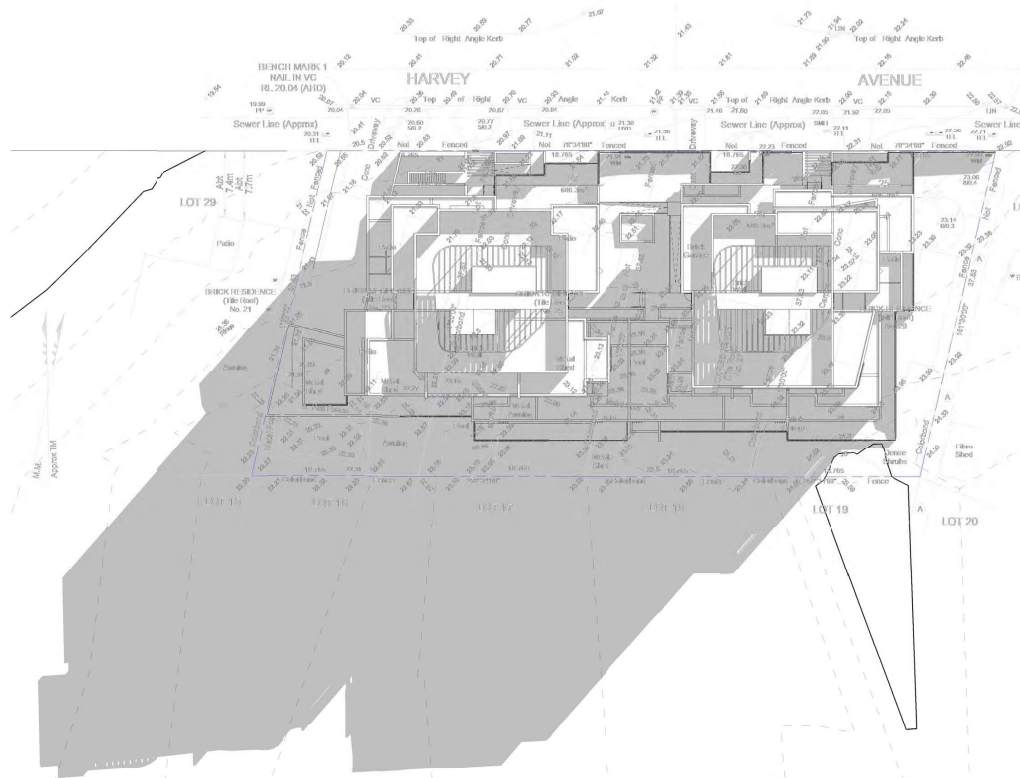
DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION


No.	Description	Date	Notes	Photomontages	Date	Job No.	Sheet No.
A	Development Application	2018,07,25	NOTES: This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.	Jim Shi	08,05,2018	1801	A05.05
				23-29 Harvey Ave, MOOREBANK	Scale at: A1	Stage	Issue
					Author		A

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A	DRAFT - Consultant Coordination	2018.06.19		<p>Jim Shi</p>	<p>A1: 164 Rivers Road, Chipping Norton NSW 2170 P: 02 9765 1318 F: 02 9765 1316 E: admin@pagano.com.au www.pagano.com.au</p>		
B	Development Application	2018.07.25		<p>23-29 Harvey Ave, MOOREBANK</p>			
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① Sun View - WINTER 9AM



② Sun View - WINTER 9,30AM



③ Sun View - WINTER 10AM



④ Sun View - WINTER 10,30AM



⑤ Sun View - WINTER 11AM



⑥ Sun View - WINTER 11,30AM



⑦ Sun View - WINTER 12PM



⑧ Sun View - WINTER 12,30PM



⑨ Sun View - WINTER 1PM



⑩ Sun View - WINTER 1,30PM



⑪ Sun View - WINTER 2PM



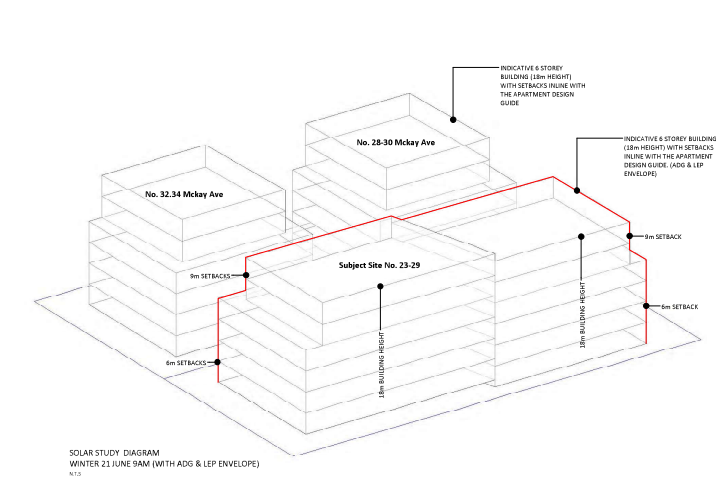
⑫ Sun View - WINTER 2,30PM



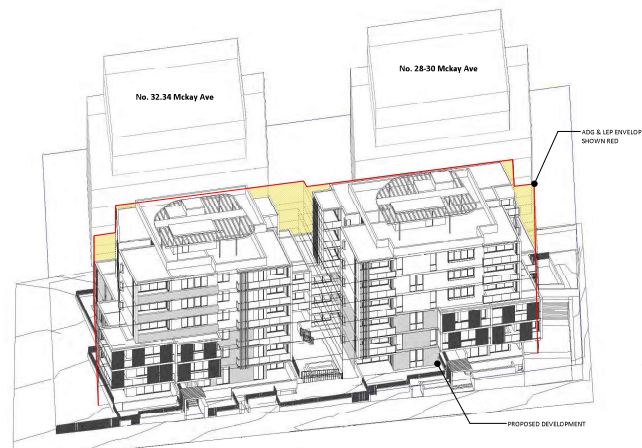
⑬ Sun View - WINTER 3PM

NOTE
YELLOW INDICATES SOLAR ACCESS TO GLAZED AREA

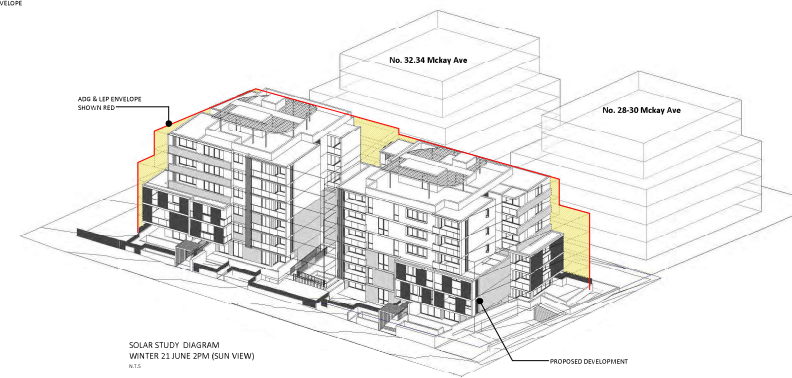
SOLAR ACCESS SUMMARY								
UNIT No.	SOLAR < 2hrs	SOLAR > 2hrs	UNIT No.	SOLAR < 2hrs	SOLAR > 2hrs	UNIT No.	SOLAR < 2hrs	SOLAR > 2hrs
G01		X	201	X	X	401		X
G02		X	202		X	402		X
G03	X	X	203		X	403		X
G04		X	204	X	X	404	X	X
G05		X	205	X	X	405	X	X
G06		X	206	X	X	406	X	X
G07	X	X	207		X	407		X
G08	X	X	208	X	X	408	X	X
G09	X	X	209	X	X	409	X	X
G10	X	X	210	X	X	410	X	X
G11	X	X	211	X	X	411	X	X
G12	X	X	212	X	X	412	X	X
G13	X	X	213	X	X	413	X	X
G14	X	X	214	X	X	414	X	X
G15	X	X	215	X	X	415	X	X
G16	X	X	216	X	X	416	X	X
G17	X	X	217	X	X	417	X	X
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G19	X	X	219	X	X	419	X	X
G20	X	X	220	X	X	420	X	X
G21	X	X	221	X	X	421	X	X
G22	X	X	222	X	X	422	X	X
G23	X	X	223	X	X	423	X	X
G24	X	X	224	X	X	424	X	X
G25	X	X	225	X	X	425	X	X
G26	X	X	226	X	X	426	X	X
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G30	X	X	230	X	X	430	X	X
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G38	X	X	238	X	X	438	X	X
G39	X	X	239	X	X	439	X	X
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G206	X	X	406	X	X	606	X	X
G207	X	X	407	X	X	607	X	X
G208	X	X	408	X	X	608	X	X
G209	X	X	409	X	X	609	X	X
G210	X	X	410	X	X	610	X	X
G211	X	X	411	X	X	611	X	X
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G214	X	X						



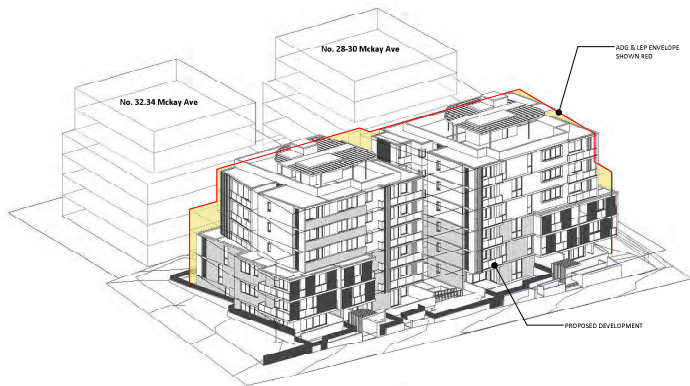
SOLAR STUDY DIAGRAM
WINTER 21 JUNE 9AM (WITH ADS & LEP ENVELOPE)
N.T.S



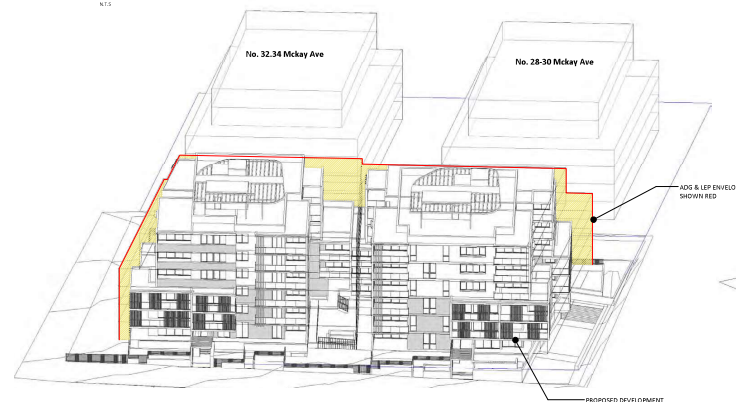
SOLAR STUDY DIAGRAM
WINTER 21 JUNE 11AM (SUN VIEW)
N.T.S



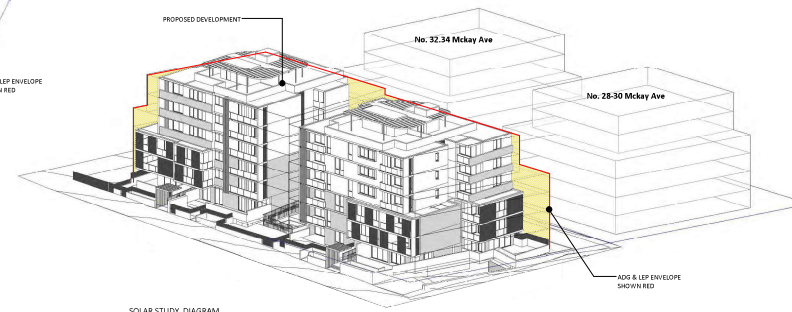
SOLAR STUDY DIAGRAM
WINTER 21 JUNE 2PM (SUN VIEW)
N.T.S



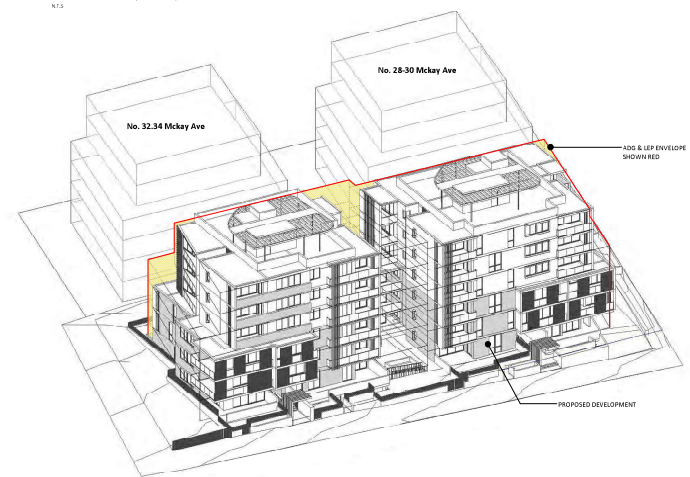
SOLAR STUDY DIAGRAM
WINTER 21 JUNE 9AM (SUN VIEW)
N.T.S



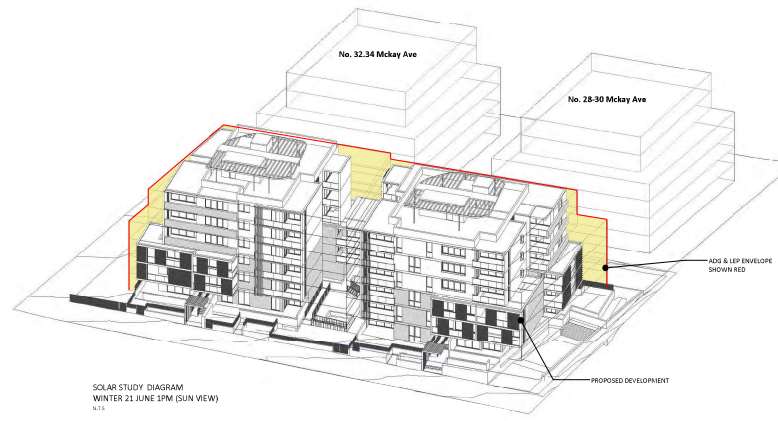
SOLAR STUDY DIAGRAM
WINTER 21 JUNE 12PM (SUN VIEW)
N.T.S



SOLAR STUDY DIAGRAM
WINTER 21 JUNE 3PM (SUN VIEW)
N.T.S



SOLAR STUDY DIAGRAM
WINTER 21 JUNE 10AM (SUN VIEW)
N.T.S



SOLAR STUDY DIAGRAM
WINTER 21 JUNE 3PM (SUN VIEW)
N.T.S

LEGEND

- INDICATIVE 5 STOREY BUILDING (18m HEIGHT) WITH SETBACKS IN LINE WITH THE APARTMENT DESIGN GUIDE. (ADD & LEP ENVELOPE)
- SOLAR ACCESS PROVIDED BY PROPOSED DEVELOPMENT AS COMPARED TO THE A.D.G AND LEP ENVELOPE

DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

Date	08,05,2018	Job No.	1801	Sheet No.	A07.03
Scale at A1	1 : 2	Stage	DA	Issue	B
<p>A, 184 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1010 E. edmin@pagano.com.au</p> <p>named architect Alfred Pagano FPA Subshore Pagano 7003</p>					

No.	Description	Date
A	DRAFT - Consultant Coordination	2018,06,19
B	Development Application	2018,07,25

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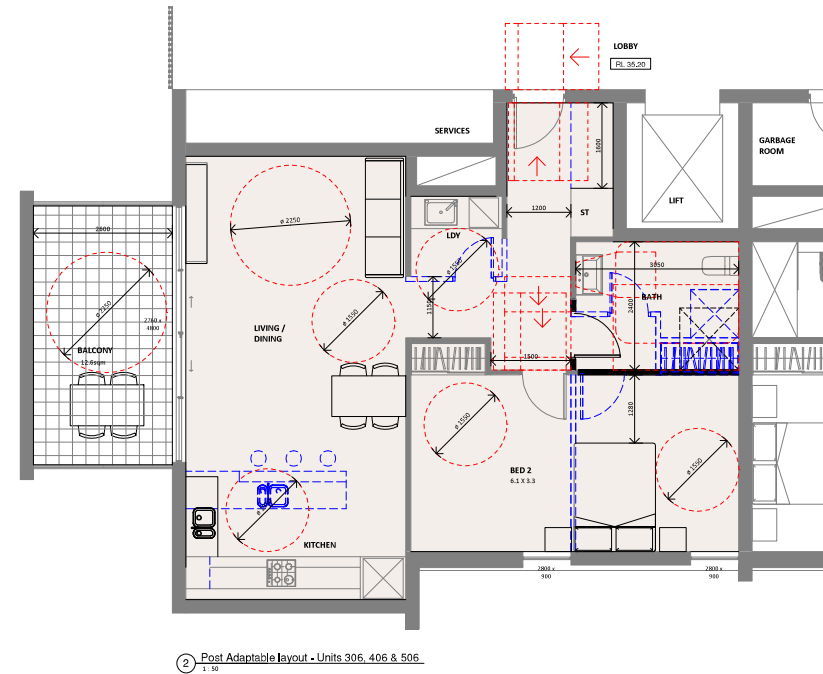
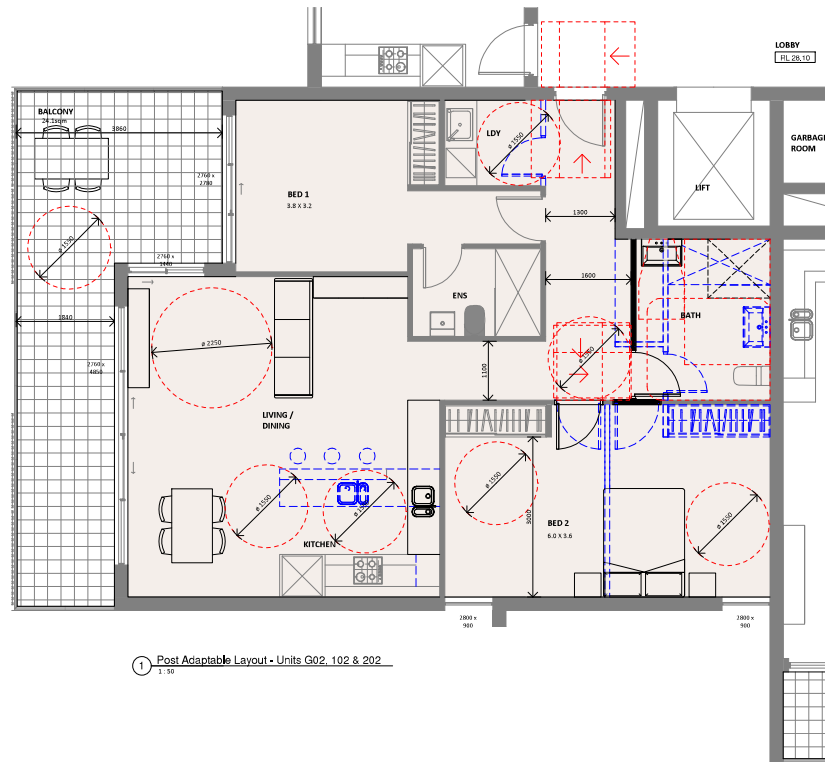
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Sun View Solar Study - Southern Adjoining Properties


Jim Shi

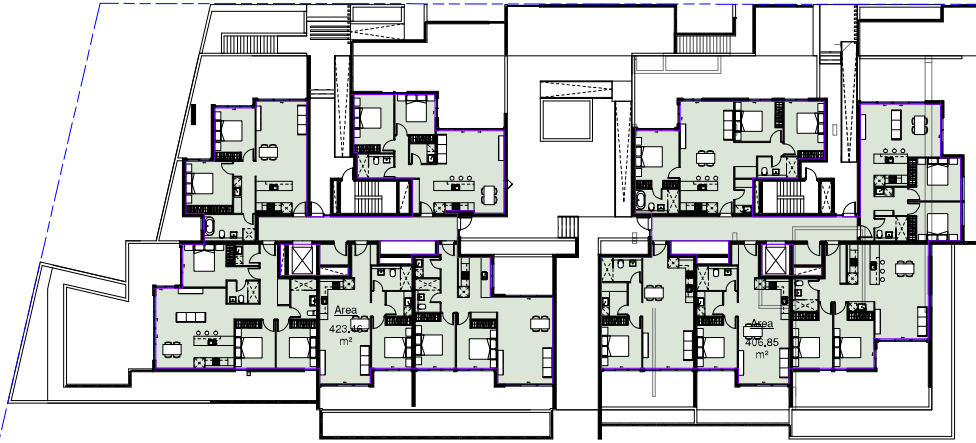
23-29 Harvey Ave, MOOREBANK

pagano architects

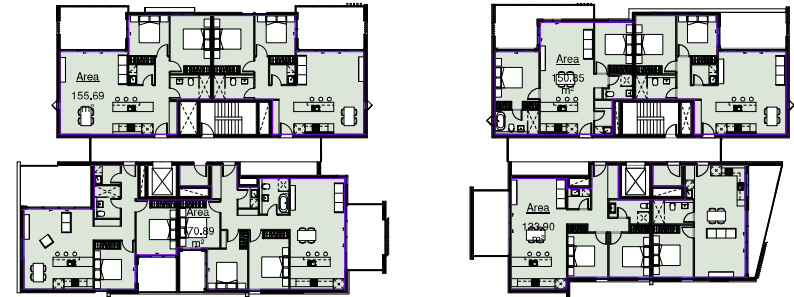


DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

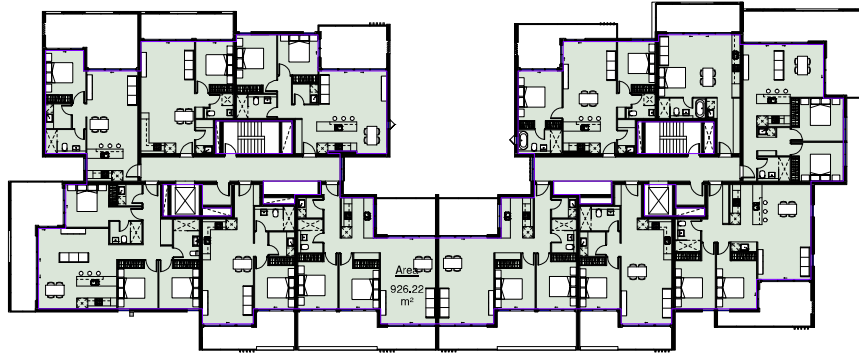
No.	Description	Date	NOTES:	Adaptable Unit Layout Plan	Date	Job No.	Sheet No.
A	DRAFT - Consultant Coordination	2018,06,19	This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.	Jim Shi	08,05,2018	1801	A08.01
B	Development Application	2018,07,25			Scale at A1: 1:50	Stage DA	Issue
				23-29 Harvey Ave, MOOREBANK	 pagano architects		
© Pagano Architects - © TTA Studio Architects							



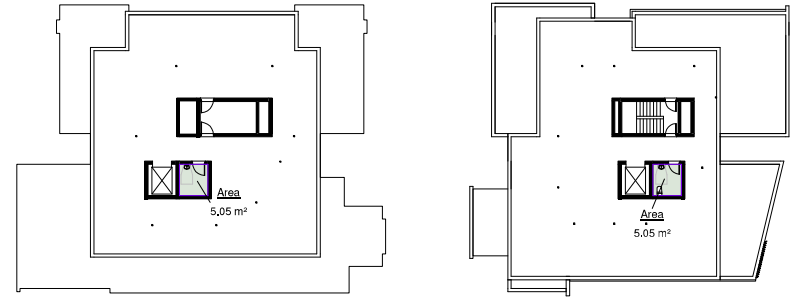
1 FSR DIAGRAM GROUND LEVEL
1:200



3 FSR DIAGRAM TYP LEVEL 3, 4 & 5
1:200



2 FSR DIAGRAM TYP LEVEL 1 & 2
1:200



4 FSR DIAGRAM ROOF LEVEL
1:200

F.S.R SUMMARY	
SITE AREA	2745.2 m²
LEVEL	AREA (sqm)
Ground Level	839.31m²
Level 1	926.22m²
Level 2	926.22m²
Level 3	611.33m²
Level 4	611.33m²
Level 5	611.33m²
Roof Level	10.10m²
TOTAL	4336.84m²
PROPOSED FSR	1:1.65

No.	Description	Date
A	DRAFT - Consultant Coordination	2018,06,19
B	Development Application	2018,07,25

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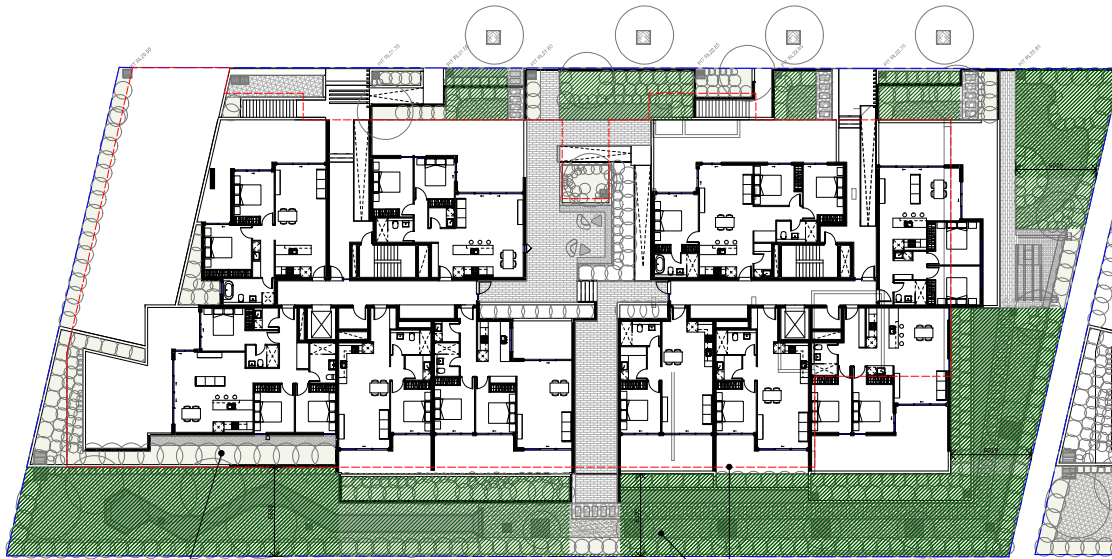
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FSR Area Diagrams		Date	Job No.	Sheet No.
As Indicated		08,05,2018	1801	A09.01
Scale at A1		Stage	DA	Issue
Jim Shi				B
23-29 Harvey Ave, MOOREBANK		<p>A, 184 Riverside Road, Chipping Norton NSW 2170 P, 02 9755 1318 F, 02 9755 1310 E, edmin@pagano.com.au</p> <p>named architect Pagano, Pagano & P Sydney Pagano 7000</p>		

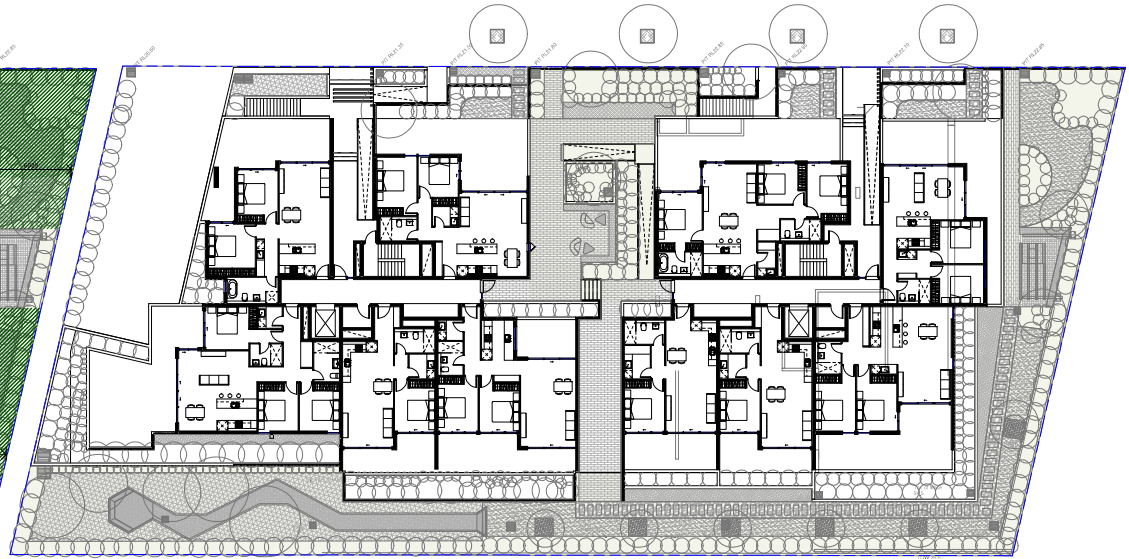


DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

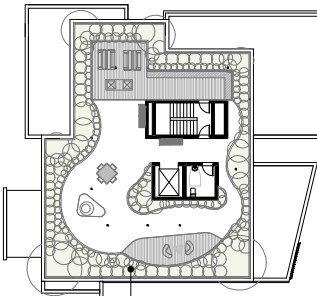
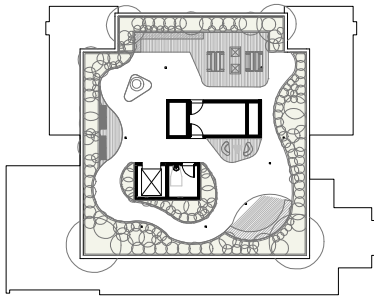
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1 LANDSCAPE DIAGRAM GROUND LEVEL
1:200



3 C.O.S DIAGRAM GROUND LEVEL
1:200



LANDSCAPE AREA

2 LANDSCAPE DIAGRAM ROOF LEVEL
1:200

LANDSCAPE SUMMARY

LANDSCAPE AREA GRD: 858,75m²
LANDSCAPE AREA ROOF: 187,24m²
TOTAL LANDSCAPE AREA: 1045,99m²

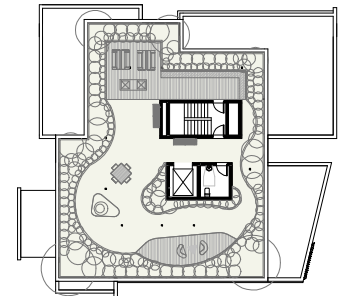
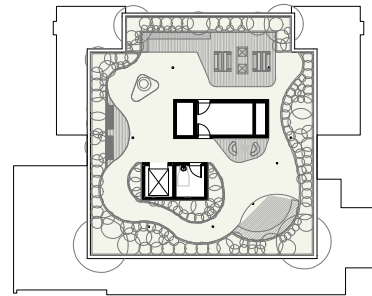
DEEP SOIL

SEPP AFFORDABLE
15% WITH MIN 3m DIMENSION

PROPOSED DEEP AREA: 703,44m² (25,6%)

SEPP AFFORDABLE
7% WITH MIN 6m DIMENSION

PROPOSED DEEP AREA: 483,85m² (17,6%)



4 C.O.S DIAGRAM ROOF LEVEL
1:200

C.O.S SUMMARY

COS AREA GRD: 759,17m²
COS AREA ROOF: 481,93m²
TOTAL COS AREA: 1241,10m²

NOTES

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No.	Description	Date
A	Development Application	2018,07,25

Landscape, Deep Soil & C.O.S Area Diagrams

Jim Shi

23-29 Harvey Ave, MOOREBANK

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Date	Job No.	Sheet No.
08,05,2018	1801	A09.02
Scale at A1	Stage	Issue
As Indicated	DA	A

A, 1164 Riverside Road,
Chipping Norton NSW 2170
P, 02 9755 1318
F, 02 9755 1010
E, edmin@pagano.com.au
named architect
Pagano Architects Pty Ltd
Sydney Pagano 7000

pagano architects



T1. EXTERNAL BRICK WALL
AUSTRAL BRICKS - BOWRAL BROWN
OR SIMILAR



T2. EXTERIOR WALLS
DULUX - BUFF IT QUARTER
OR SIMILAR



T3. BALCONY EDGE FEATURE COLOUR
DULUX - MONUMENT
OR SIMILAR



T4. GROUND LEVEL TILES
SKHEME - EXTERIOR GRADE
'AGGREGATE CHARCOAL'
 OR SIMILAR



T5. UPPER LEVEL BALCONY TILES
SKHEME - EXTERIOR GRADE
'AGGREGATE GREY'
OR SIMILAR



T6. STONE WALLS
SELECTED STONE CLADDING
OR SIMILAR



T7. ENTRY SOFFIT AND BALCONY PARTITION
TIMBER LOOK ALUMINIUM
'CHESTNUT'
OR SIMILAR



TB. FEATURE WALL
ARTEDOMUS SAZANAMI - LIGHT WARM
OR SIMILAR



T9. EXTERIOR WALLS
DULUX - NAMADI
OR SIMILAR



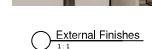
T10. GROUND LEVEL PLANTERS AND FENCES
DULUX - BUFF IT
OR SIMILAR



T11. BALCONY SCREENS
AAF EVERSCHILD - MACCHIATO
CORTINA.IT



T12. VERTICAL BATTERNS
AT EVERSFIELD - BRONZE MONUMENT
OR SMALL



External Finishes



T13. FRAMES AROUND WINDOWS AND VERTICAL LOUVRES
AAF EVERSHIELD - CHARCOAL
OR SIMILAR



100



T14. WINDOWS FRAMES, BALUSTRADES AND
METAL FENCE
AAF EVERSHIELD - GUNBARREL
OR UNILAR

C

NOT FOR CONSTRUCTION

